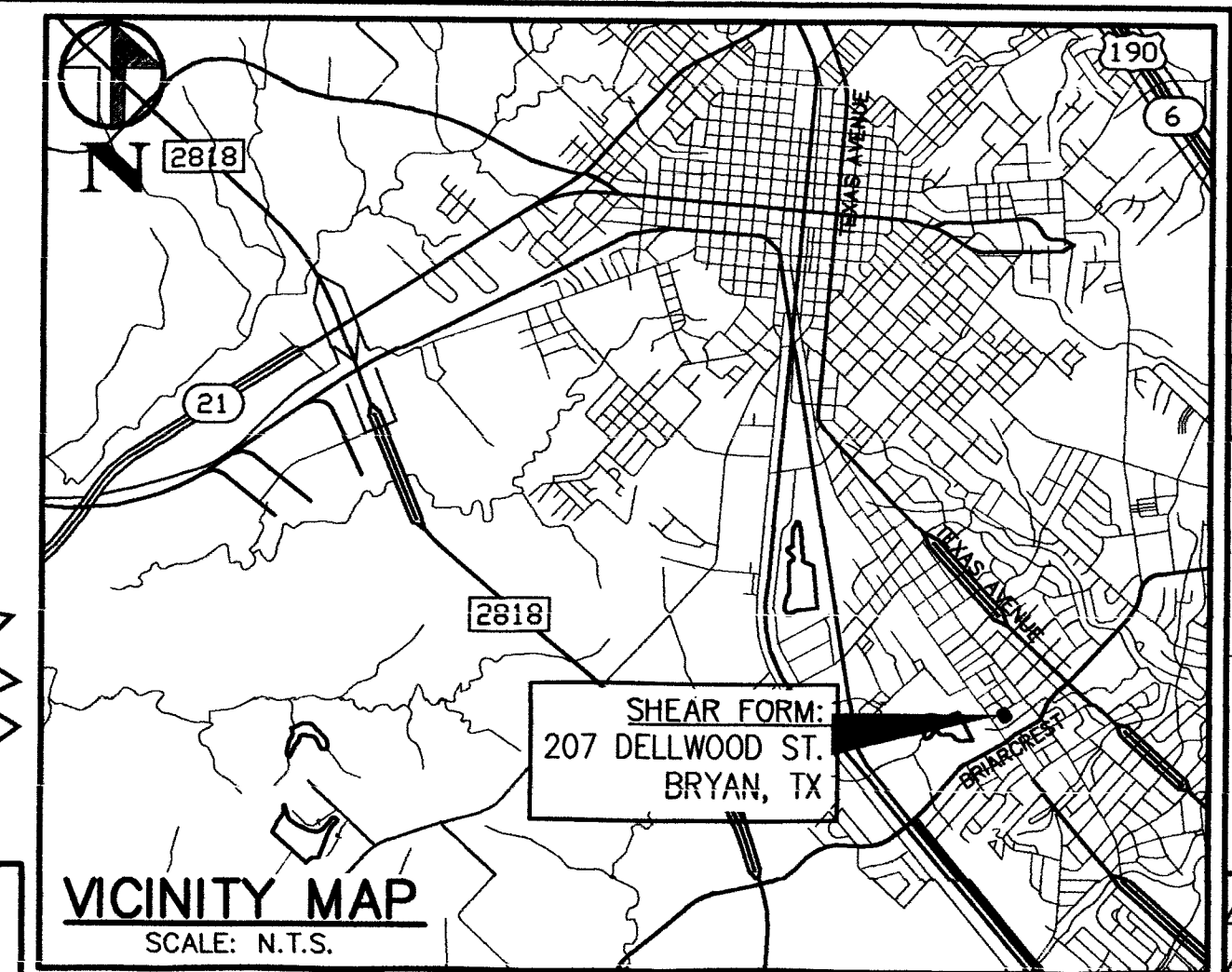


SYMBOL & LINE LEGEND

PP	POWER POLE
LP	LIGHT POLE
WV	WATER VALVE
WM	WATER METER
BFP	BACKFLOW PREVENTOR
ET	ELECTRICAL TRANSFORMER
EB	ELECTRICAL PULL BOX
EM	ELECTRICAL METER
GM	GAS METER
MH	MANHOLE
C.O.	CLEANOUT
FH	FIRE HYDRANT
TP	TELEPHONE PEDESTAL
AI	AREA INLET
JB	JUNCTION BOX
PIV	POST INDICATOR VALVE
PIV	CURB INLET
---	PROPERTY LINE
---	EASEMENT LINE

- PLAN NOTES:**
- REFER TO SHEETS C0.1 FOR SITE, PARKING, AND MISC. CONSTRUCTION NOTES.
 - REFER TO SHEET C1.3 FOR ADDITIONAL SITE PLAN DATA.
 - REFER TO SHEET C2.0 FOR SITE & PARKING DETAILS.
 - UNLESS OTHERWISE NOTED ALL RADII ARE 4.0' ALONG THE BACK OF CURB.
 - ILLUSTRATES ADA ACCESSIBLE PATH.



- CIVIL SITE NOTES:**
- A PORTION OF THIS TRACT DOES LIE WITHIN A DESIGNATED 100-YEAR FLOOD PLAIN ACCORDING TO THE FEMA FIRM MAP PANEL NO. 48041C 0215F, REVISED DATE: APRIL 2, 2014.
 - DESIGNATED HANDICAP PARKING SPACES, WALKS & RAMPS SHALL MEET ALL TAS & ANSI STANDARDS.
 - ALL ROOF & GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OR ISOLATED SO AS NOT TO BE VISIBLE FROM ANY PUBLIC RIGHT-OF-WAY OR RESIDENTIAL DISTRICT WITHIN 150 FEET OF THE SUBJECT LOT, MEASURED FROM A POINT FIVE FEET ABOVE THE GRADE. THIS SCREENING SHALL BE COORDINATED WITH THE BUILDING ARCHITECTURE AND SCALE TO MAINTAIN A UNIFIED APPEARANCE.
 - AREAS DESIGNATED AS ENHANCED PAVING, CONCRETE PAVING AND/OR SIDEWALKS, SHALL CONSIST OF EITHER BRICK PAVERS OR STAMPED CONCRETE. COLOR AND PATTERN SHALL BE DETERMINED BY THE OWNER, BUT GREY OR NATURAL CONCRETE COLORS ARE NOT PERMITTED.
 - WHEN BUILDING SETBACKS AND EASEMENT LINES OVERLAP ONLY THE EASEMENT LINE IS SHOWN.
 - 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK (LOOSE ROCK NOT PERMITTED), OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
 - THE IMPROVEMENTS SHOWN SHALL CONSTITUTE APPROXIMATELY 36% IMPERVIOUS COVER ON THE SUBJECT PROPERTY.
 - ALL CURBING ILLUSTRATED ON THIS SITE PLAN SHALL BE 6" RAISED CONCRETE CURBS (SEE DETAIL ON SHEET C2.0). ALL PAVEMENT ON THIS PROJECT WILL BE CONCRETE AND 6" THICK IN ALL AREAS.
 - A CONDITIONAL USE PERMIT WAS APPROVED BY P&Z (CASE NO 15-01 ON 2/19/15).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO, AND DURING, DEMOLITION/CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 - SOLID WASTE, FROM THIS SITE, SHALL BE DISPOSED OF BY MEANS OF A ROLL-OUT CONTAINER.
 - SEE SHEET C1.0 - EROSION CONTROL PLAN FOR CONCRETE WASH-OUT LOCATION AND DETAIL.
 - NO WASTEWATER WILL BE GENERATED FROM THIS SITE BY CLEANING/WASHING OF EQUIPMENT OR VEHICLES. SANITARY SEWER GENERATED FROM THIS SITE WILL BE NORMAL DOMESTIC WASTEWATER BY DEFINITION. FOOD SERVICES WILL NOT BE PROVIDED BY THE MANUFACTURING AND/OR PREPARING FOOD ITEMS TO PUBLIC/CUSTOMERS.
 - SITE LIGHTING, DIRECTIONAL SIGNS, MENU BOARDS, DETECTORS & OTHER SITE APPURTENANCES ARE SHOWN FOR REFERENCE AND ILLUSTRATION ONLY. THE CONTRACTOR SHALL COORDINATE THESE ITEMS INSTALLATIONS WITH THE PROPER DESIGN CONSULTANT. FREE-STANDING SIGNS AND BUILDING SIGNAGE IS PERMITTED SEPARATELY AND MUST COMPLY WITH THE CITY ORDINANCES. BUILDING SIGNAGE IS PERMITTED SEPARATELY AND MUST COMPLY WITH THE LAND & SITE DEVELOPMENT ORDINANCE AND THE LIMITATIONS APPLICABLE TO THIS DEVELOPMENT PER SECTION 62-564.
 - AN ELEVATION CERTIFICATE, PREPARED BY A LICENSED ENGINEER OR SURVEYOR IN THE STATE OF TEXAS, WILL BE REQUIRED TO VERIFY THE MINIMUM FINISH FLOOR ELEVATION IS AT LEAST ONE-FOOT ABOVE THE BASE FLOOD ELEVATION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FIRE DEPARTMENT SECTION OF NOTES:**
- NO COMBUSTIBLES WILL BE ALLOWED ON SITE UNTIL ALL-WEATHER ROADS AND FIRE HYDRANTS HAVE BEEN ACCEPTED BY THE CITY.
 - THE MINIMUM CLEAR SPACE, WHEN FULLY OPEN, SHALL BE TWENTY FEET (20') FOR ALL VEHICULAR SECURITY GATES. GATES WILL EITHER ROLL AND "COLLAPSE" INTO THE FENCE OR SWING INTO THE YARD. ALL GATES SHALL BE EQUIPPED WITH KNOX ENTRY BASED UPON FIRE DEPARTMENT REQUIREMENTS. THE MAXIMUM VERTICAL CLEARANCE, BETWEEN THE BOTTOM OF THE GATE AND THE PAVEMENT/GRADE, THAT SHALL EXISTING WHEN THE GATE IS FULLY CLOSED SHALL BE LIMITED TO SIX (6) INCHES.
 - FIRE LANE WORDING AND SPACING SHALL CONFORM TO CITY OF BRYAN ORDINANCE, SECTION 42-6(3)A AND 42-6(3)A(2).

SITE # LEGEND

1	COMMERCIAL DRIVEWAY ENTRANCE, SEE B/CS DETAIL ST2-03	10	2 PANEL - 20' WIDE SWING VEHICULAR GATE (SEE CIVIL SITE NOTE #18)
2	5' SIDEWALK AMBULATORY RAMP, SEE B/CS DETAIL SW3-05	11	RELOCATE EXISTING METAL CONTAINER
3	TYPICAL FIRE LANE SIGN	12	8" THICK CONCRETE PAVING w/COMPACTED SUBGRADE (SEE PAVING DETAILS - SHEET 2.0)
4	TYPICAL FIRE LANE STRIPING		
5	TYPICAL 4" WHITE STRIPE		
6	H/C PARKING ROW, RAMP & SIGNS		
7	6" WIDE PEDESTRIAN CROSSWALK STRIPING		
8	6" RAISED CONCRETE CURB (SEE DETAIL SHEET C2.0)		
9	8" HIGH SOLID WOOD SECURITY FENCE		

PROPERTY INFORMATION

MILTREE PLACE
LOT 4, 7, 8 & PARTS OF
LOTS 9 & 10
(VOL. 129, PG. 395)
NOW OR FORMERLY
TEE DRIVE INVESTMENTS, LLC
CALLED 0.894 ACRES
(VOL. ???, PG. ???)
ZONED: MU-1

PARKING REQUIREMENTS:
ORDINANCE:
WAREHOUSE MANUFACTURING - 1 SPC PER 1,000 SQ.FT.
REQUIRED:
EXISTING SHOP = 1,824 SQ.FT.
PROPOSED SHOP = 2,425 SQ.FT.
((1824 + 2425) / 1000) = 4.2 SPACES
TOTAL REQUIRED = 5 SPACES
PROVIDED:
REGULAR = 5 SPACES
H/C = 1 SPACES
TOTAL = 6 SPACES

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TEXAS FIRM REGISTRATION No. F-4695

SURVEYOR
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PRELIMINARY
90% COMPLETE
ISSUED FOR
REVIEW ONLY
5/20/15

PRELIMINARY

CIVIL SITE & PAVING PLAN

FOR THE
SHEAR FORM
207 DELLWOOD STREET
BRYAN, TX

LOT 4, 7 & PART OF LOTS 9 & 10 - MILTREE PLACE
BRAZOS COUNTY, TEXAS

DATE: MAY 20, 2015

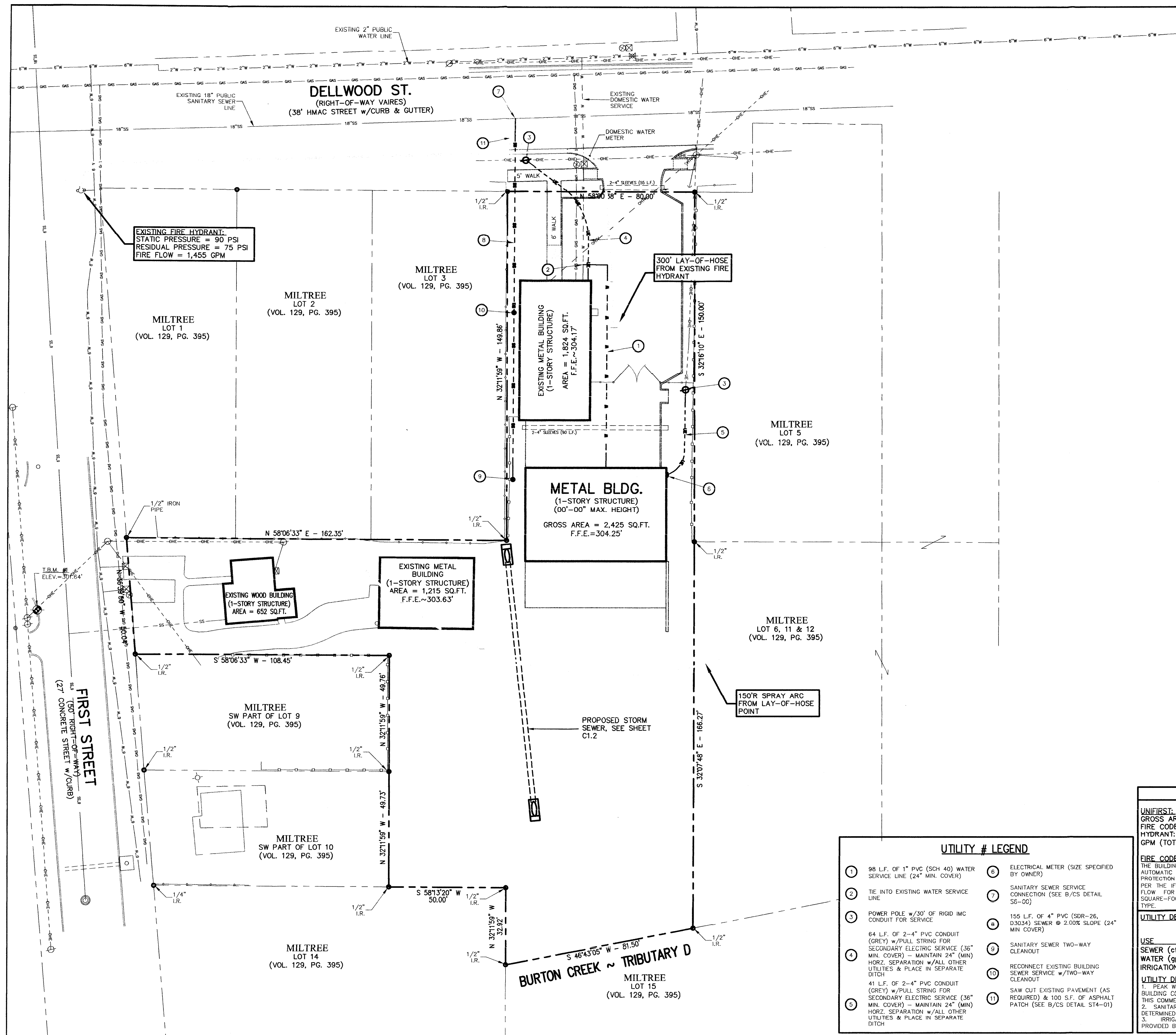
CLIENT INFORMATION
TEE DRIVE INVESTMENT, LLC
c/o DOUG KREBS
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BRYAN, TX 77801
EMAIL: doug@shearform.com
PH: (979) 822-5038
MB: (979) 220-6444

FILENAME: 0566SP1A SCALE: 1"=20'
SUBMITTED DATE: 5/4/15

DRAWN BY: R.A.M. CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RME CONSULTING ENGINEERS
CLIENT NO. PROJECT NO.
303 - 0566

C1.1
SHEET 4 OF 9



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STOP!
CALL BEFORE YOU DIG
TEXAS ONE CALL SYSTEM
1 800 245 4545
(AT LEAST 24 HOURS PRIOR TO DIGGING)
BENCHMARK: THE CONTRACTOR IS TO LOCATE AND MARK ALL UTILITIES PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES DUE TO ANY CONSTRUCTION ACTIVITY.

SYMBOL & LINE LEGEND

- PP POWER POLE
- LP LIGHT POLE
- WV WATER VALVE
- WM WATER METER
- BFP BACKFLOW PREVENTOR
- ET ELECTRICAL TRANSFORMER
- EB ELECTRICAL PULL BOX
- EM ELECTRICAL METER
- GM GAS METER
- MH MANHOLE
- CO CLEANOUT
- FH FIRE HYDRANT
- TP TELEPHONE PEDESTAL
- AI AREA INLET
- JB JUNCTION BOX
- PIV POST INDICATOR VALVE
- CI CURB INLET
- PL PROPERTY LINE
- EL EASEMENT LINE
- 4" PVC (SCH 40) SLEEVE

PROJECT BENCHMARK: CHISELED "BOX" LOCATED ON THE TOP OF CURB ALONG THE WEST SIDE OF FIRST STREET AND LOCATED APPROXIMATELY 184 FEET SOUTH OF ITS INTERSECTION WITH DELLWOOD STREET.
(ELEV. = 301.64' - NGVD 1929)

PLAN NOTES:

- REFER TO SHEET C0.1 FOR UTILITY AND MISC. CONSTRUCTION NOTES.
- REFER TO SHEET C2.1 FOR UTILITY & MISCELLANEOUS CONSTRUCTION DESIGN & DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING IMPROVEMENTS (MANHOLE LIDS, VAULTS, TRAFFIC BOXES, ETC...) ARE ADJUSTED SO THAT THEY ARE FLUSH WITH THE NEW SIDEWALKS AND PAVEMENT.
- UNLESS SPECIFICALLY IDENTIFIED ALL TWO-WAY CLEANOUTS, AT BUILDING ENTRY POINTS, SHALL BE A MINIMUM OF 3.5' BELOW THE FINISH FLOOR ELEVATION.
- UNLESS SPECIFICALLY IDENTIFIED ALL BEDDING OF UTILITIES SHALL BE TYPE "D" IN NON-STRUCTURAL AREAS (SEE SHEET C2.1 FOR BEDDING/BACKFILL DETAILS).
- PVC SLEEVING SHALL BE COORDINATED ON-SITE WITH THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL INSTALL ALL PRE-SLAB INSTALLATIONS & THE DEVELOPER SHALL PAY ALL TAP & METER FEES.
- THE CONTRACTOR SHALL MAKE THE SEWER TAP & TAP FEE PAID BY THE DEVELOPER.
- CLEANOUT SPACING, ALONG PRIVATE SEWER SERVICES, SHALL NOT EXCEED 100'.

UTILITY # LEGEND

- 1 98 L.F. OF 1" PVC (SCH 40) WATER SERVICE LINE (24" MIN. COVER)
- 2 TIE INTO EXISTING WATER SERVICE LINE
- 3 POWER POLE w/30' OF RIGID IMC CONDUIT FOR SERVICE
- 4 64 L.F. OF 2-4" PVC CONDUIT (GREY) w/PULL STRING FOR SECONDARY ELECTRIC SERVICE (36" MIN. COVER) - MAINTAIN 24" (MIN) HORIZ. SEPARATION w/ALL OTHER UTILITIES & PLACE IN SEPARATE DITCH
- 5 41 L.F. OF 2-4" PVC CONDUIT (GREY) w/PULL STRING FOR SECONDARY ELECTRIC SERVICE (36" MIN. COVER) - MAINTAIN 24" (MIN) HORIZ. SEPARATION w/ALL OTHER UTILITIES & PLACE IN SEPARATE DITCH
- 6 ELECTRICAL METER (SIZE SPECIFIED BY OWNER)
- 7 SANITARY SEWER SERVICE CONNECTION (SEE B/C'S DETAIL SG-00)
- 8 155 L.F. OF 4" PVC (SDR-26, D3034) SEWER @ 2.00% SLOPE (24" MIN COVER)
- 9 SANITARY SEWER TWO-WAY CLEANOUT
- 10 RECONNECT EXISTING BUILDING SEWER SERVICE w/TWO-WAY CLEANOUT
- 11 SAW CUT EXISTING PAVEMENT (AS REQUIRED) & 100 S.F. OF ASPHALT PATCH (SEE B/C'S DETAIL S74-01)

BUILDING SUMMARY

UNIFIRST: 1-STORY (00'-0" MAX)
GROSS AREA = 2,425 SQ.FT.
FIRE CODE: TYPE 2B
HYDRANT: 1 HYDRANT @ >1,500 GPM (TOTAL)

FIRE CODE:
THE BUILDING WILL NOT BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE PROTECTION PER BUILDING IS AS NOTED ABOVE PER THE IFC (TABLE B105.1 & C105.1). FIRE FLOW FOR THE BUILDING IS BASED ON SQUARE-FOOTAGES AND FIRE CONSTRUCTION TYPE.

UTILITY DEMAND SUMMARY:

USE	AVG. (x4.0)	PEAK
SEWER (cfs)	0.01	0.03
WATER (gpm)	3.5	14
IRRIGATION (gpm)		HOSE BIB

UTILITY DEMAND NOTES:
1. PEAK WATER SHALL BE DETERMINED BY THE BUILDING CODE - FIXTURE COUNT METHOD FOR THIS COMMERCIAL FACILITY.
2. SANITARY SEWER AVERAGE DAILY FLOW WAS DETERMINED BY LAND USE DETERMINATION.
3. IRRIGATION OF LANDSCAPING WILL BE PROVIDED BY HOSE BIBS.

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FAX: (979) 691-6904

MARK	DATE	DESCRIPTION

PRELIMINARY 90% COMPLETE ISSUED FOR REVIEW ONLY 5/20/15

PRELIMINARY

ON-SITE UTILITY PLAN

FOR THE
SHEAR FORM
207 DELLWOOD STREET
BRYAN, TX
LOT 4, 7 & PART OF LOTS 9 & 10 - MILTREE PLACE
BRAZOS COUNTY, TEXAS

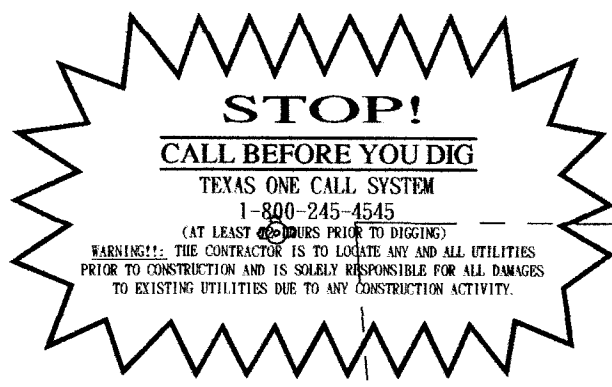
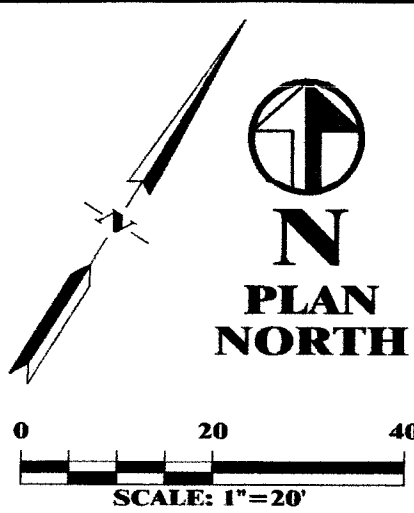
CLIENT INFORMATION
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FILENAME: 0566UP1A SCALE: 1"=20'
SUBMITTED DATE: 5/4/15

DRAWN BY: R.A.M. CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RME CONSULTING ENGINEERS
CLIENT NO. PROJECT NO.
303 - 0566

C1.3
SHEET 6 OF 9



SYMBOL & LINE LEGEND	
	POWER POLE
	LIGHT POLE
	WATER VALVE
	WATER METER
	BACKFLOW PREVENTOR
	ELECTRICAL TRANSFORMER
	ELECTRICAL PULL BOX
	ELECTRICAL METER
	GAS METER
	MANHOLE
	CLEANOUT
	FIRE HYDRANT
	TELEPHONE PEDESTAL
	AREA INLET
	JUNCTION BOX
	POST INDICATOR VALVE
	CURB INLET
	PROPERTY LINE
	EASEMENT LINE
	SOLID SOD AREAS (TIF 419 BERMUDA)
	COMMON BERMUDA SEEDS AREAS

PLAN NOTES:

- REFER TO SHEET C0.1 FOR MISCELLANEOUS CONSTRUCTION NOTES.
- REFER TO SHEET C1.3 FOR UTILITY INFORMATION & SLEEVING LOCATIONS.

DELLWOOD ST.
(RIGHT-OF-WAY VAIRES)
(38' HMA STREET w/CURB & GUTTER)

MILTREE
LOT 3
(VOL. 129, PG. 395)
CASTILLO OSBALDO
(VOLUME 7110, PAGE 191)
ZONED: MU-1

MILTREE
LOT 2
(VOL. 129, PG. 395)
ZUNIGA OCTAVIANO
(VOLUME 4300, PAGE 149)
ZONED: MU-1

MILTREE
LOT 5
(VOL. 129, PG. 395)
N/F
LUIS GODINEZ
(VOLUME 1116, PAGE 345)
ZONED: MU-1

MILTREE
LOT 6, 11 & 12
(VOL. 129, PG. 395)
N/F
CASA GRANDE INVESTMENTS, LTD.
(VOLUME 12205, PAGE 244)
ZONED: MU-1

MILTREE
SW PART OF LOT 9
(VOL. 129, PG. 395)
N/F
TOD BERKEY & ERIN BERKEY
(VOLUME 12115, PAGE 134)
ZONED: MU-1

MILTREE
SW PART OF LOT 10
(VOL. 129, PG. 395)
N/F
TEE DRIVE INVESTMENTS, LLC
(VOLUME ???, PAGE ???)
ZONED: MU-1

MILTREE
LOT 14
(VOL. 129, PG. 395)
N/F
CHARLES H. SZABUNIEWCZ
(VOLUME 3406, PAGE 318)
ZONED: MU-1

MILTREE
LOT 15
(VOL. 129, PG. 395)
N/F
MARY ANNE CULPEPPER
ZONED: MU-1

BURTON CREEK ~ TRIBUTARY D

SITE CONSTRUCTION
LIMITS (PHASE AREA =
16,513 SQ.FT.)

METAL BLDG.
(1-STORY STRUCTURE)
(00'-00" MAX. HEIGHT)
GROSS AREA = 2,425 SQ.FT.

EXISTING METAL BUILDING
(1-STORY STRUCTURE)
AREA = 1,824 SQ.FT.

EXISTING METAL BUILDING
(1-STORY STRUCTURE)
AREA = 1,215 SQ.FT.

EXISTING WOOD BUILDING
(1-STORY STRUCTURE)
AREA = 652 SQ.FT.

LANDSCAPING NOTES:

- THE LANDSCAPE PLAN PRESENTED WAS PREPARED BY RME CONSULTING ENGINEERS (RME). RME IS NEITHER A LICENSED LANDSCAPE ARCHITECT NOR IRRIGATOR. THIS PLAN WAS PREPARED FOR THE SOLE PURPOSE TO MEET THE CITY OF BRYAN (C&D) SITE DEVELOPMENT ORDINANCE AND OBTAIN DEVELOPMENT PERMITS. ANY CHANGES MADE TO THIS PLAN SHALL BE SUBMITTED TO THE C&D DEVELOPMENT SERVICES DEPARTMENT FOR REVIEW AND APPROVAL. NEW LANDSCAPING WILL BE IRRIGATED BY HOSE BIBS LOCATED AT THE EXISTING AND PROPOSED BUILDINGS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. ANY DISCREPANCIES BETWEEN QUANTITIES ON THE PLAN AND THE PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK, OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
- ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO ITS EXISTING CONDITIONS OR BETTER.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPOSED PARKING ISLANDS PRIOR TO PLACEMENT OF TOPSOIL AND PLANTING, INCLUDING CONCRETE, ASPHALT, LIMESTONE BASE MATERIAL, OR COMPACTED STABILIZED EARTH.
- THE CROWN OF ALL PLANTS SHALL BE SLIGHTLY HIGHER, AFTER SETTLING, THAN ADJACENT SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR ADDING TOP SOIL, AS NEEDED, FOR THE INCLUSION OF THE SOIL AMENDMENTS, AS NEEDED, IN THE PREPARED GROUND COVER BEDS.
- ALL SINGLE TRUNK TREES ARE TO BE STAKED; HOSE AND GUY WIRES OVERLAPPED.
- COVER AREAS TO BE PLANTED WITH 3" APPROVED ORGANIC MATTER, 2" PINE BARK MULCH, AND 13-13-13 FERTILIZER AT THE RATE OF 5 LBS./100 SQ.FT. OF BED AREA.
- ALL DISTURBED AREAS, NOT DESIGNATED TO BE BLOCK SODDED, SHALL BE SEEDDED WITH EITHER BERMUDA (2 LBS./1,000 SQ.FT.) FROM MARCH 15 TO SEPTEMBER 15 OR BERMUDA/RYE GRASS MIX (2 LBS./5 LBS. PER 1,000 SQ.FT.) FROM SEPTEMBER 16 TO MARCH 14.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL LANDSCAPING SHALL BE INSTALLED.
- ALL TREES, SHRUBS AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- PRUNING: THIN BRANCHES AND FOLIAGE (NOT ALL END TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE; NEVER CUT EVERGREEN LEADERS.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO PLANT INSTALLATION AND SHALL BE RESPONSIBLE FOR ANY DAMAGES DUE TO LANDSCAPE OPERATIONS.
- TOPSOIL SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND USED FOR BACKFILLING ALL PITS FOR PLANTS. AVERAGE TOPSOIL MIXTURE SHALL CONSIST OF THREE (3) PARTS GOOD GARDEN SOIL, 1/2 PART PEAT MOSS, 1/2 PART MANURE OR BONE MEAL, AND ONE (1) POUND LIME PER CUBIC YARD.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER AND THE CITY OF BRYAN.
- ALL PLANT MATERIAL SHALL BE MULCHED WITH A MINIMUM 4" LAYER OF HARDWOOD BARK MULCH (UNLESS OTHERWISE SPECIFIED). PROVIDE MINIMUM 10' DIAMETER MULCH RING AROUND EXISTING TREES TO REMAIN, TYPICAL.
- MINIMUM TREE SIZE AT PLANTING IS SPECIFIED ON THE PLAN (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND BE THE MINIMUM SIZE SPECIFIED ON THE PLAN.
- ALL STRAPPING MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT, AND THE TOP 1/3 OF THE BURLAP MUST BE REMOVED FROM THE ROOT BALL.
- THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDS AREAS.
- IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE LANDSCAPE CONTRACTOR SHALL INSTALL BLACK FABRIC MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (i) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (ii) THE DATE THAT THE FACILITY TO THE PUBLIC FOR BUSINESS.
- NO TREE PLANTING SHALL BE WITHIN 10 LATERAL FEET OF AN OVERHEAD UTILITY WIRE OR WITHIN 5 LATERAL FEET OF AN UNDERGROUND PUBLIC UTILITY LINE (ORDINANCE 62-431).

TREE PLANTING NOTES:

- STAKE ABOVE FIRST BRANCHES OR AS NECESSARY TO PREVENT SLIPPING OF RUBBER HOSES.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

12 GAUGE GALVANIZED WIRE ENCASED IN 1" RUBBER HOSE

6" METAL "T" POSTS (MINIMUM OF 3)

PINE BARK MULCH 2" THICK (MIN.)

NEW TOPSOIL w/FERTILIZER 8" DEEP (MIN.)

TREE PLANTING
N.T.S.

SHRUB PLANTING
N.T.S.

LANDSCAPE REQUIREMENTS

LANDSCAPING AREA:
STANDARD DEVELOPED AREA = 16,513 SQ.FT.
16,513 x 15% = 2,477 SQ.FT.
REQUIRED LANDSCAPING AREA = 2,477 SQ.FT.
PROVIDED LANDSCAPING AREA = 0,000 SQ.FT.

TREE REQUIREMENT:
MINIMUM 50% TREES OF REQUIRED AREA
2,477 x 50% = 1,239 SQ.FT.
PROVIDED TREE AREA = 0,000 SQ.FT.

CANOPY TREE REQUIREMENT:
MINIMUM 50% CANOPY TREES OF REQUIRED TREES
1,239 x 50% = 620 SQ.FT.
PROVIDED CANOPY TREE AREA = 0,000 SQ.FT.

LANDSCAPE SCHEDULE

SYMBOL	NO. OF PLANTS	SIZE	BOTANICAL NAME	COMMON NAME	TYPE	NOTES	SQ.FT. EACH	TOTAL SQ.FT.
	3	>3" CALIPER	TAXODIUM DISTICHUM	BALD CYPRESS	CANOPY TREE	45 GALLON 20' MIN. SPACING	350	1050
	9	(MULTI-TRUNK)	LAGERSTROEMIA INDICA	CREPE MYRTLE	ORNAMENTAL NON-CANOPY TREE	15 GALLON (COUNTRY RED)	150	1350
	7	5 GALLON	ILEX CORNUTA	DWARF BURFORD HOLLY	SHRUB	4' O.C.	10	70



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TEXAS FIRM REGISTRATION No. F-4695

SURVEYOR
KERR SURVEYING, LLC
409 NORTH TEXAS AVENUE
BRYAN, TX 77803

OFF: (979) 268-3195
FAX: (979) 691-8904

MARK	DATE	DESCRIPTION

**PRELIMINARY
90% COMPLETE
ISSUED FOR
REVIEW ONLY
5/20/15**

LANDSCAPE PLAN & DETAILS
FOR THE
SHEAR FORM
207 DELLWOOD STREET
BRYAN, TX
LOT 4, 7 & PART OF LOTS 9 & 10 - MILTREE PLACE
BRAZOS COUNTY, TEXAS

CLIENT INFORMATION
TEE DRIVE INVESTMENT, LLC
c/o DOUG KREBS
207 DELLWOOD STREET
BRYAN, TX 77801
EMAIL: doug@shearform.com
PH: (979) 822-5038
MB: (979) 220-6444

FILENAME: 056BLP1A SCALE: 1"=20'
SUBMITTED DATE: 5/4/15

DRAWN BY: R.A.M. CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RME CONSULTING ENGINEERS
CLIENT NO. PROJECT NO.
303 - 0566

L1.0
SHEET 9 OF 9